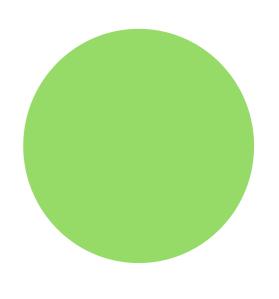
### MUDON

## Hudayriyat Central Abu Dhabi, UAE

### Project Brief and Information

26<sup>th</sup> April



### MODON



# Hudayriyat Central Abu Dhabi, UAE

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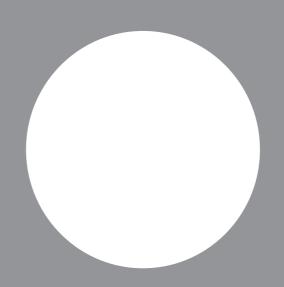
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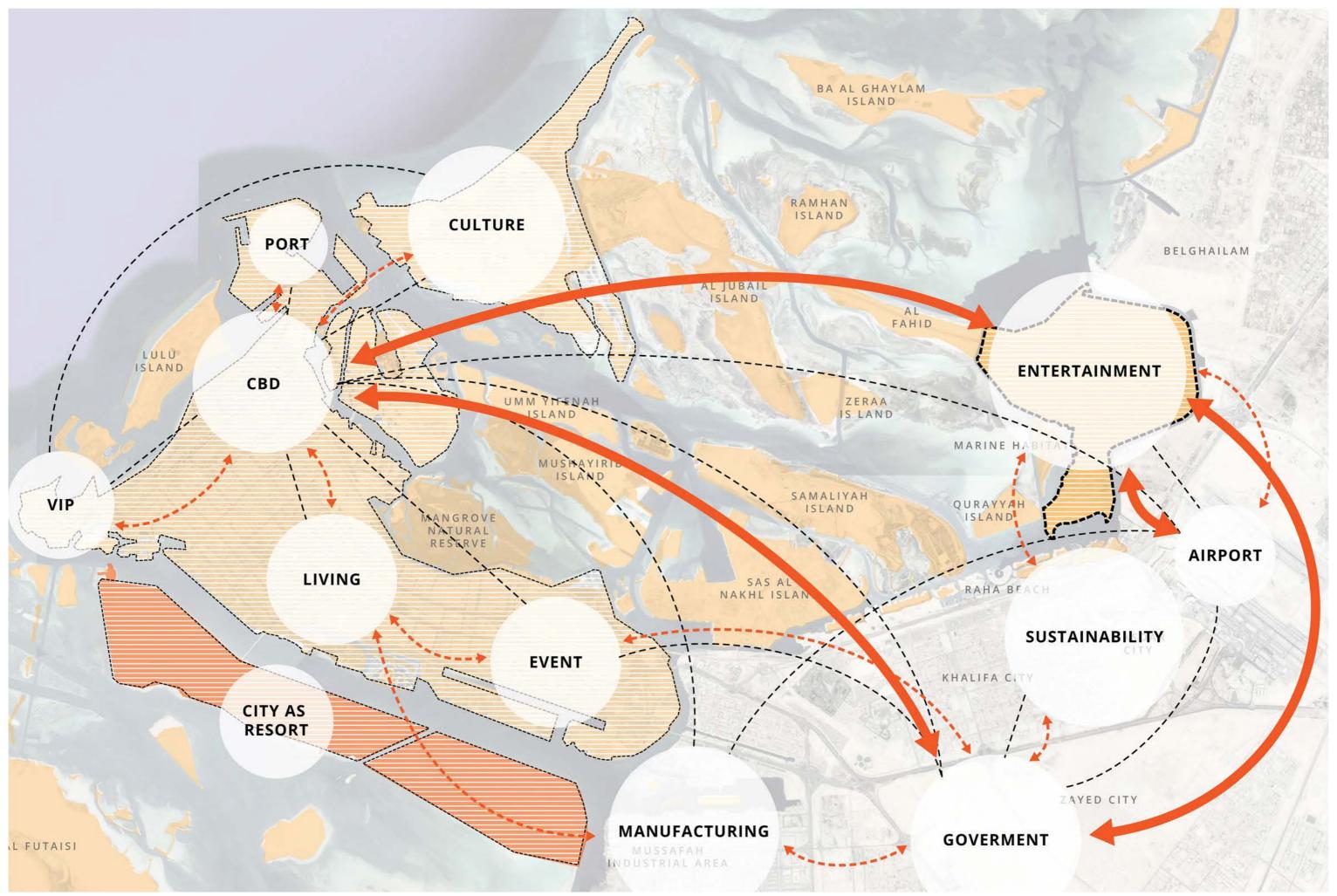






## Introduction













**GATEWAYS** 

INWARD LOOKING
APARTMENT COMMUNITIES

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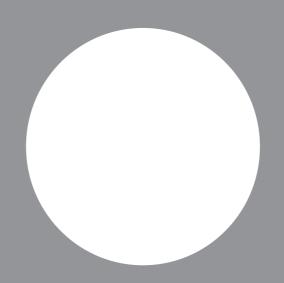
**TERRACED COMMUNITIES** 

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**LAKESIDE COMMUNITIES** 

GREAT RETAIL STREETS
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## Vision



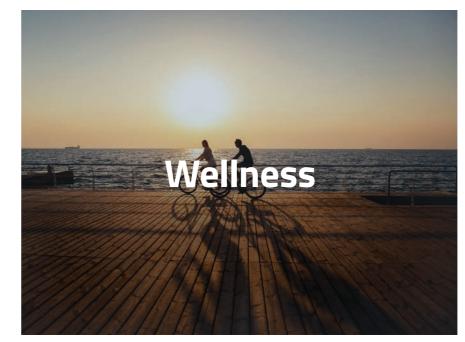


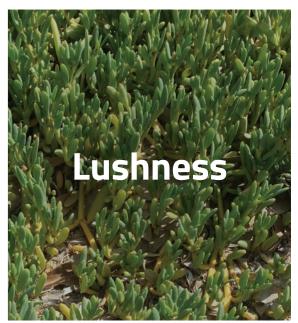
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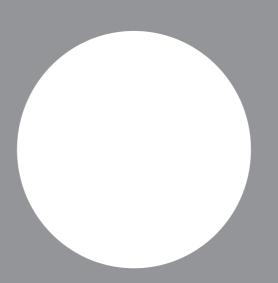












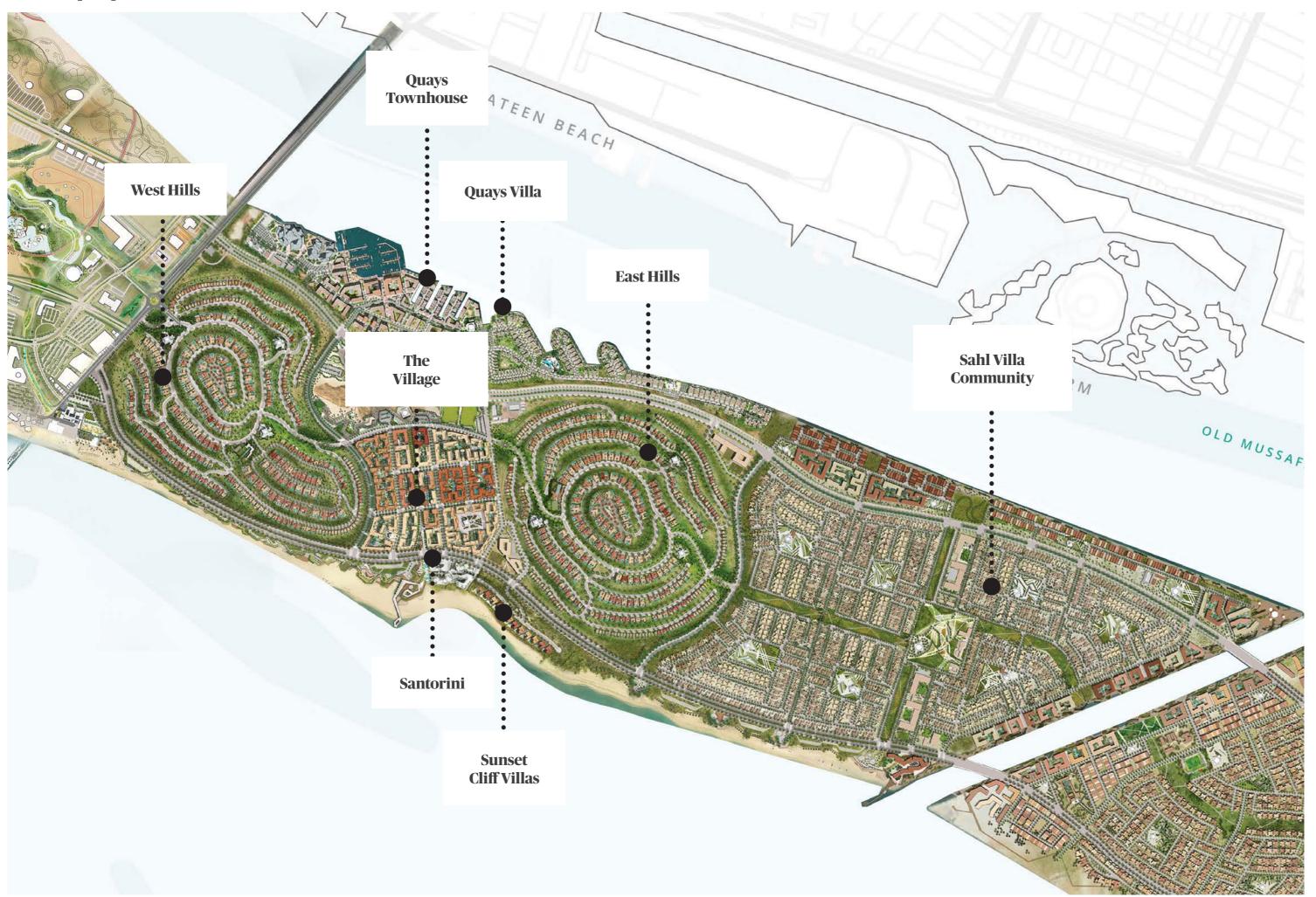
# Hudayriyat Central

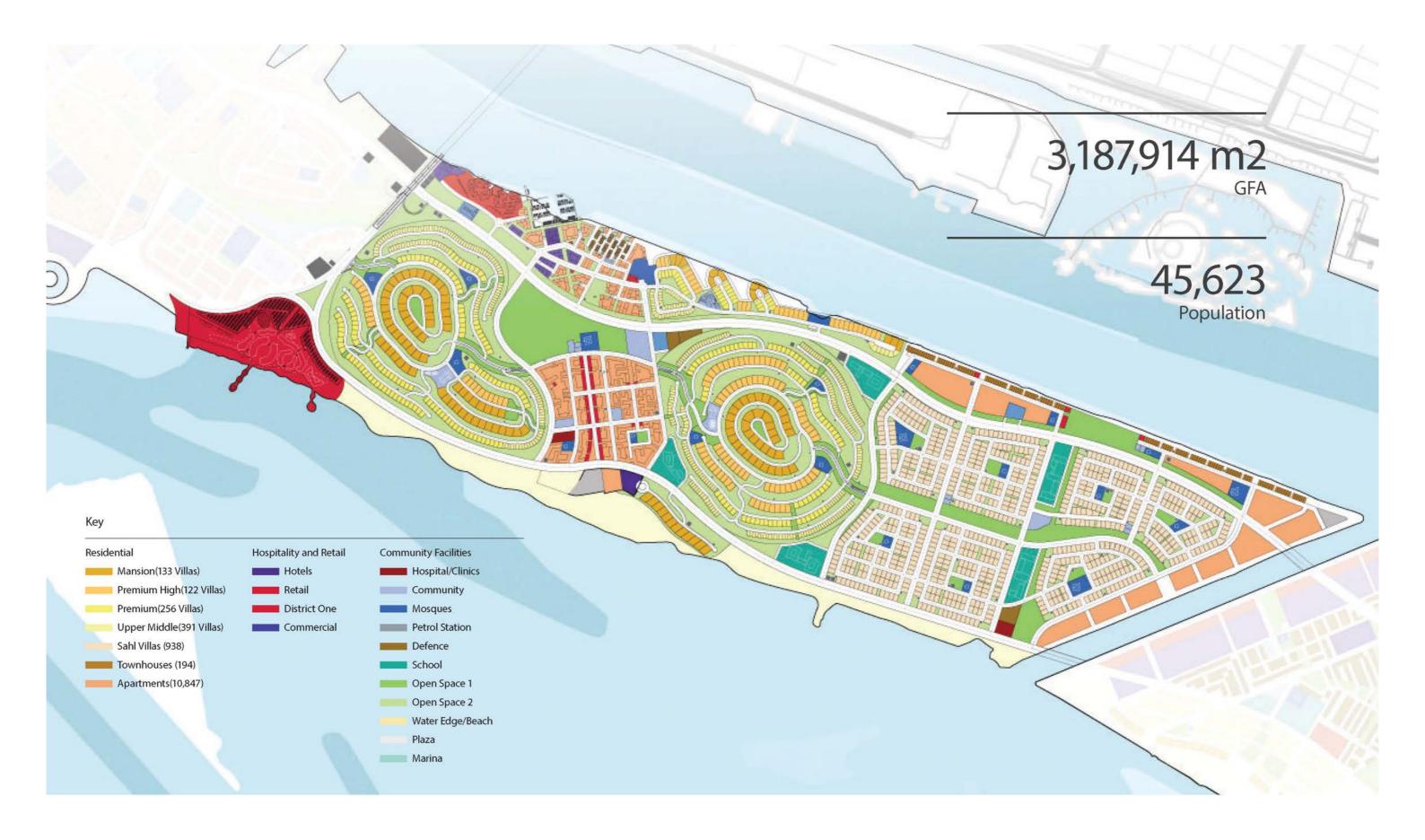


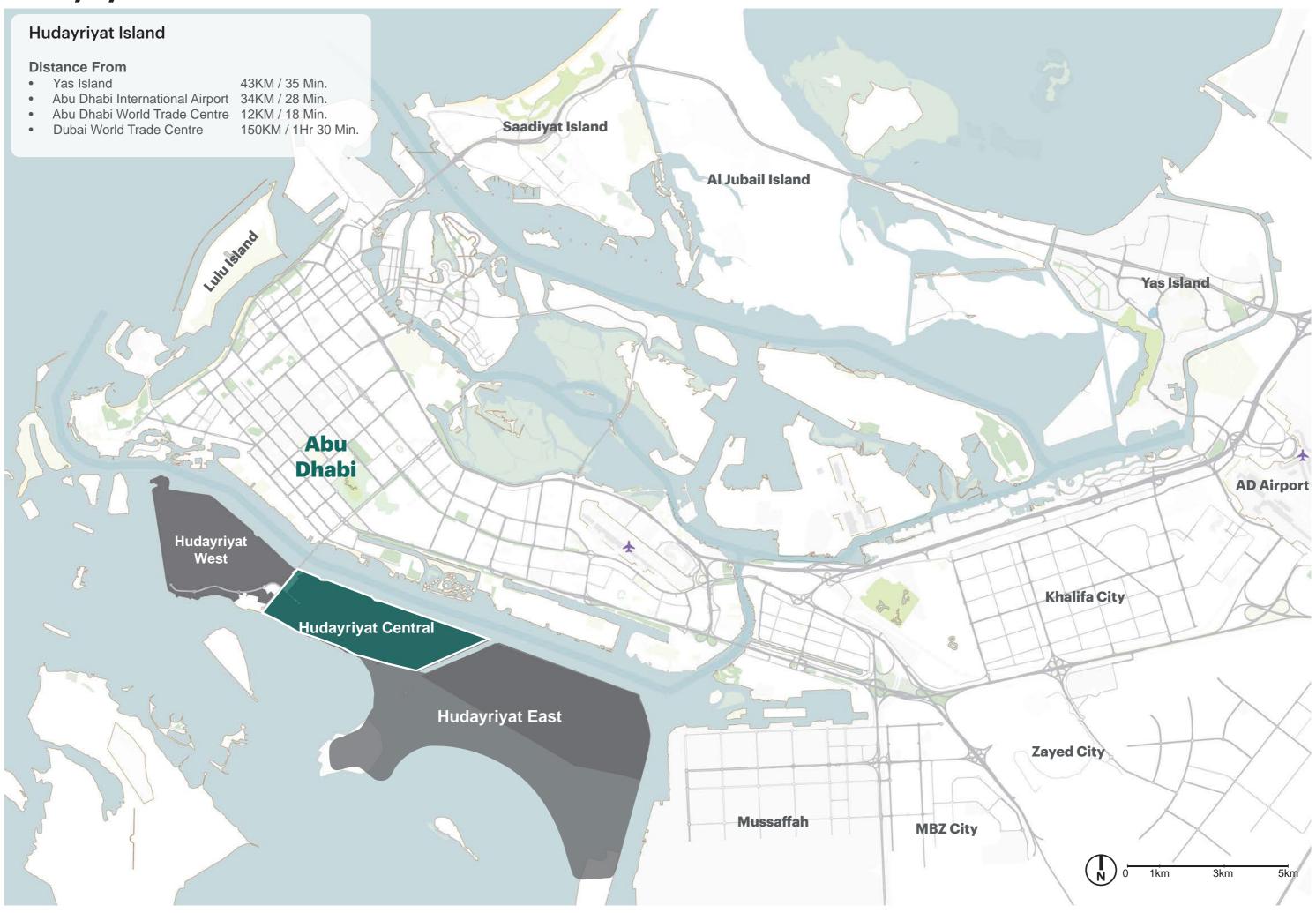
**OVERVIEW** 





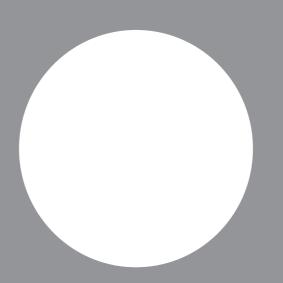












# Hudayriyat Hills



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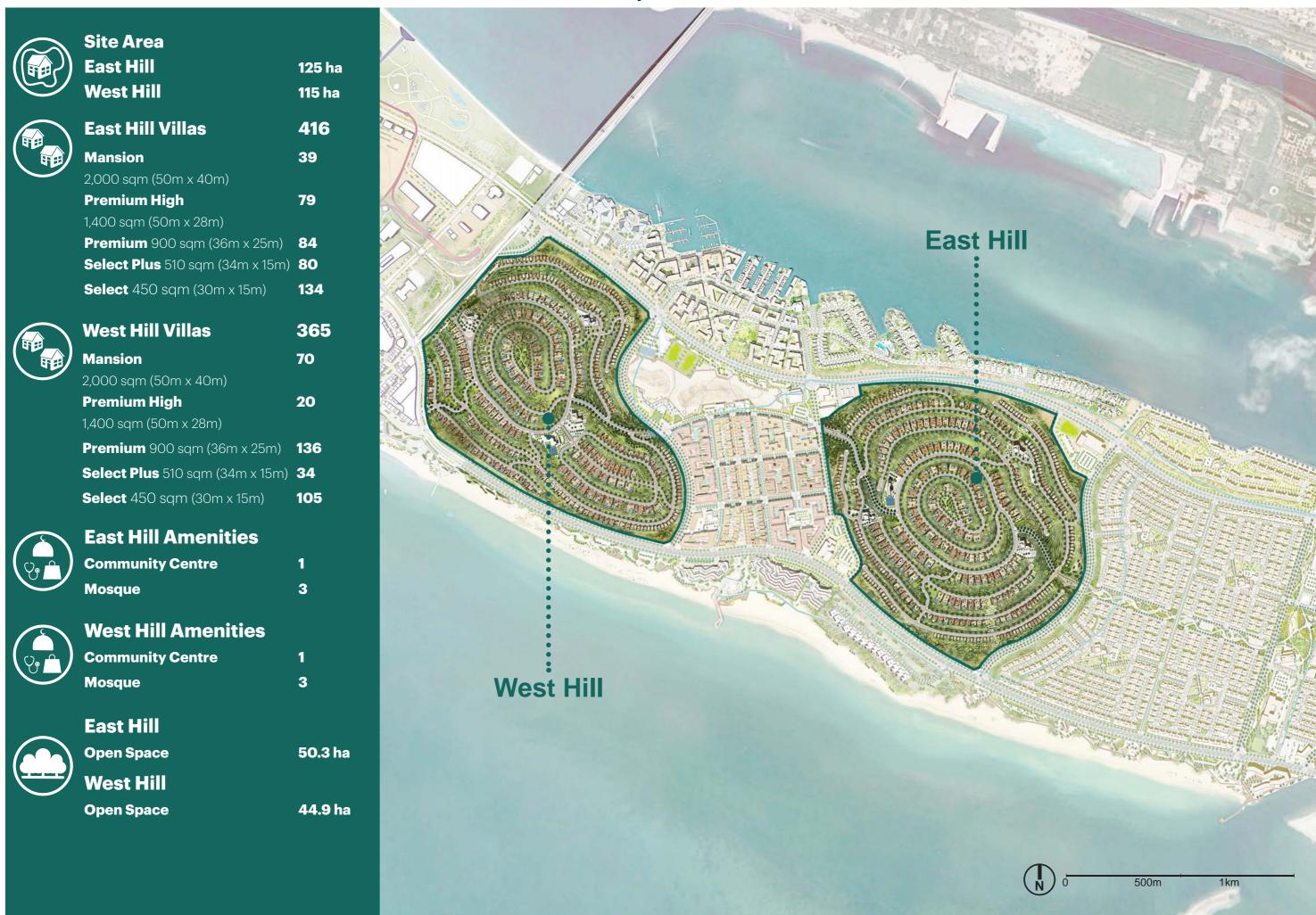
Site Location & Key Statistics

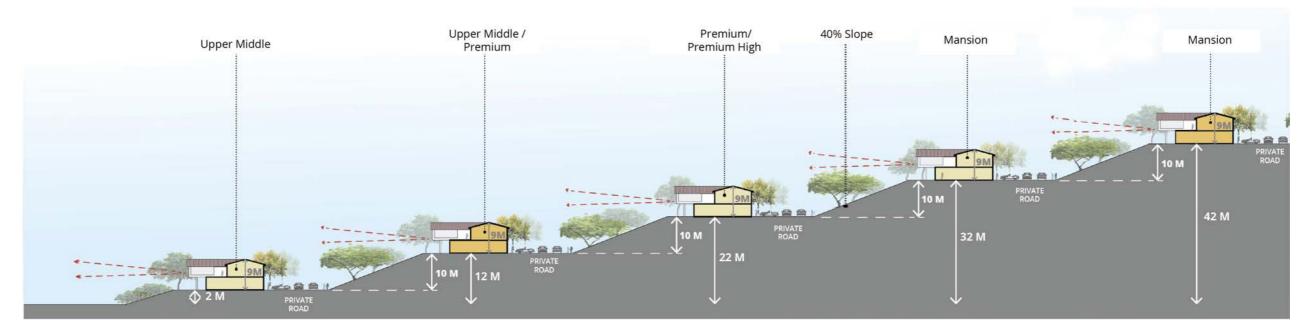
Typology

Perspective Views

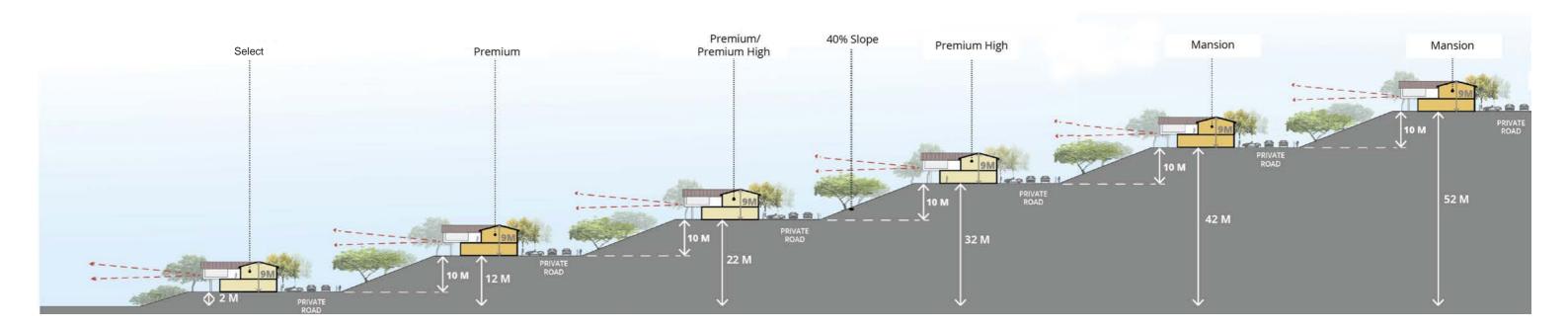
Design Guidelines

Plot Regulation Sheets

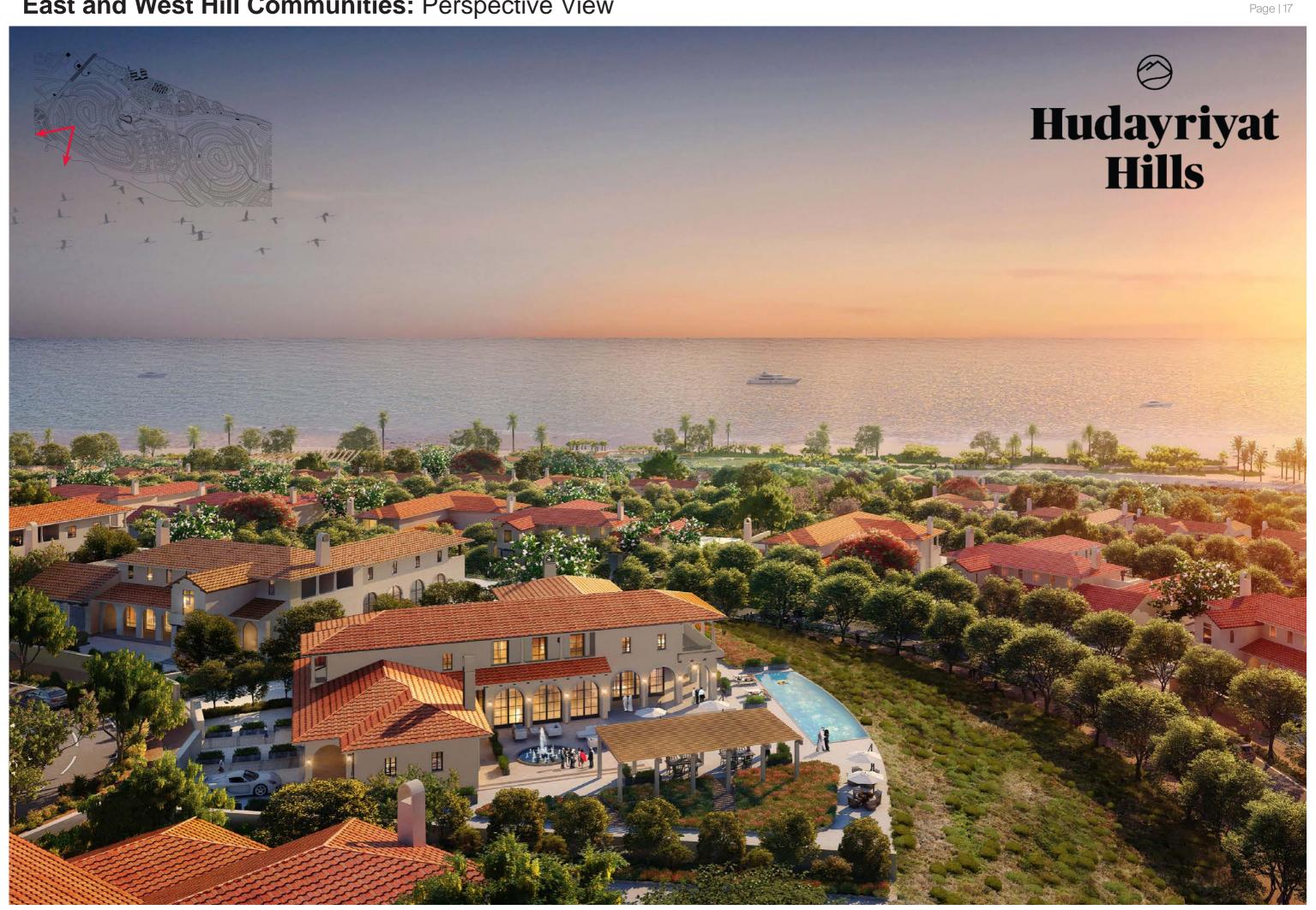




WEST HILL

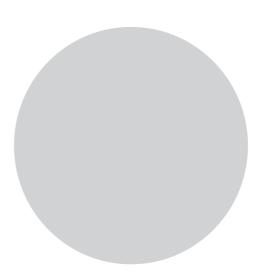


EAST HILL





### MOCOM



# Design Guidelines

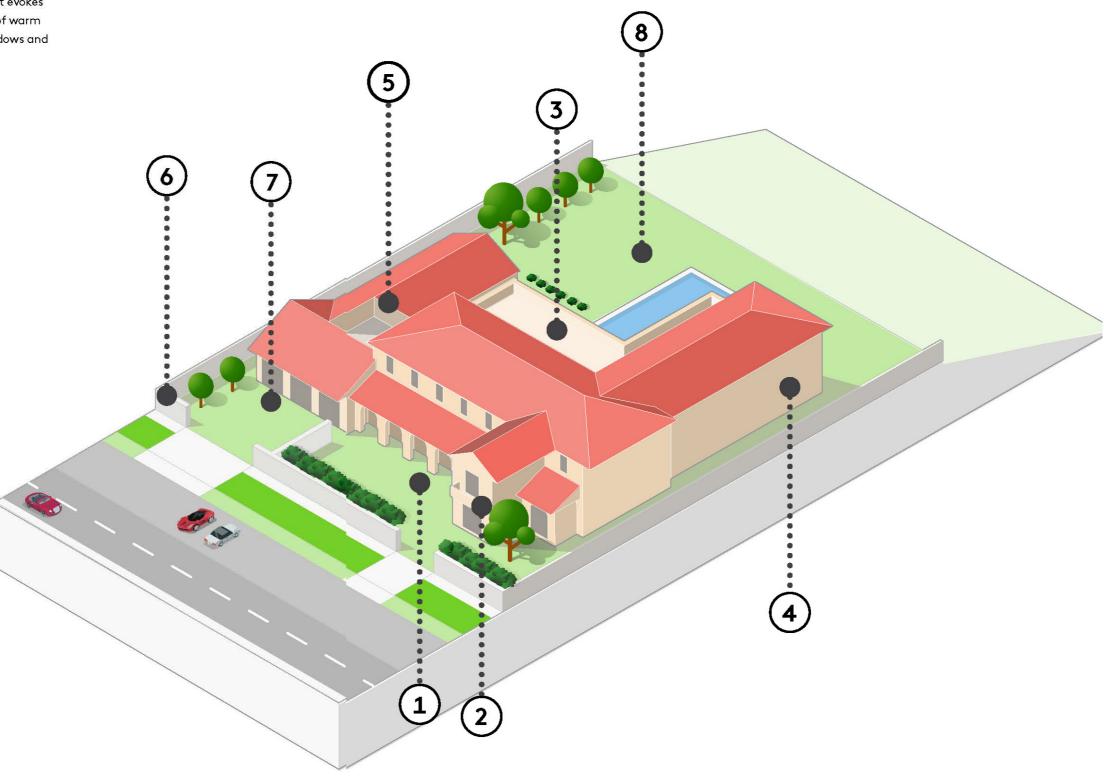




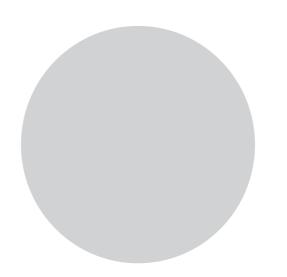
## Architectural Elements

The architecture of the Hudayriyat Hills incorporates elements common to the Southern California Spanish aesthetic. Low pitched terra-cotta tile roofs are layered on building forms with varying heights to create a richness that evokes a structure built over time. Lush landscapes are offset by a backdrop of warm hued walls of stucco and stone. The intricate details of balconies, windows and doors create a stunning framework for the ocean views beyond.

- 1 Entry Door & Porches
- Window and Patios
- (3) Terrace
- 4 Walls
- 5 Roof and Mechanical Area
- 6 Fence
- 7 Front Yard
- 8 Back Yard







# Plot Regulation Sheets



Mansion Plot

Premium High Plot

**Premium Plot** 

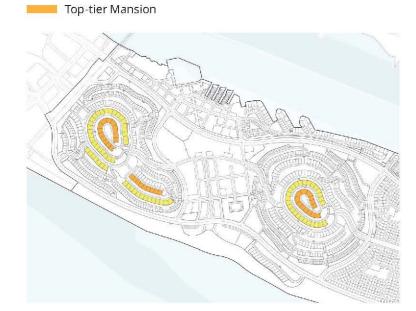
Select Plus Plot

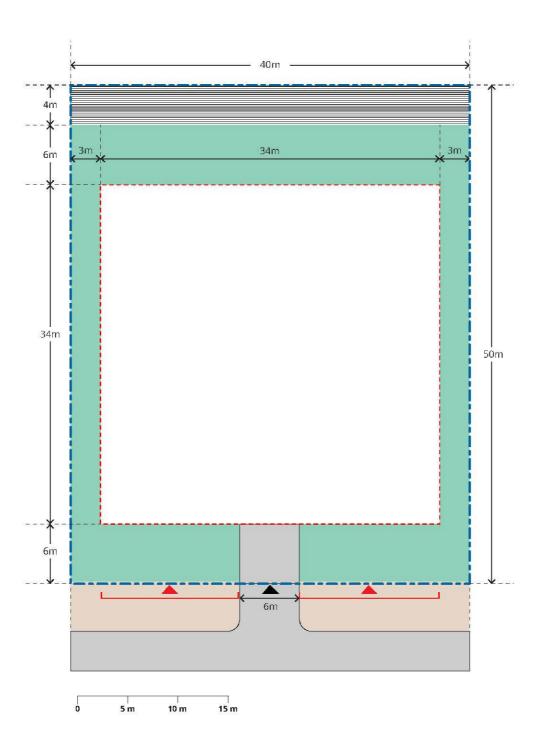
Select Plot

#### **D9.2.1.3 Plot Level Regulations & Guidelines**

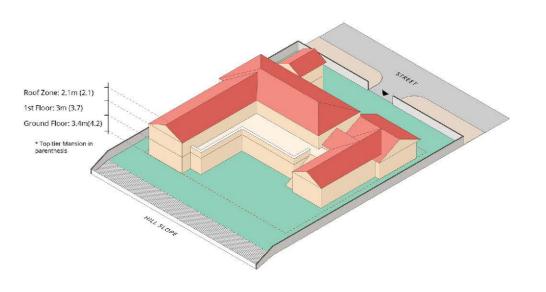
#### **Hudayriyat Hill Mansion (Typical Plot)**

- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- Maximum Height: 8.5m for Lower Tier Mansion Plots, 10m for Top Tier Mansion Plots (locations as indicated below)
- · Setbacks are given as follows:
  - » Front Setback: 6m
  - » Side Setbacks: 3m
  - » Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties)
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area
- · Rear fences to abide by fence guidelines
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details
- · Trash facilities shall comply with Estidama requirements









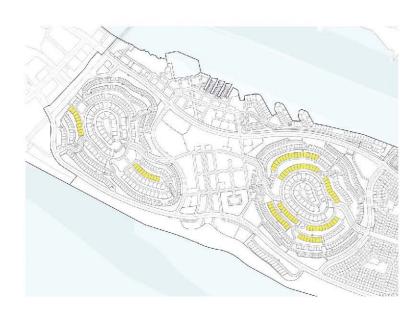
Mansion Plot	Typical*	
Land Use	Residential-Villa	
Plot Area	2000	
Number of Floors	2	
Max. Allowable GFA	1500	
FAR	0.75	
Bedrooms	6	
Resident Parking Space (on-plot)	.5	

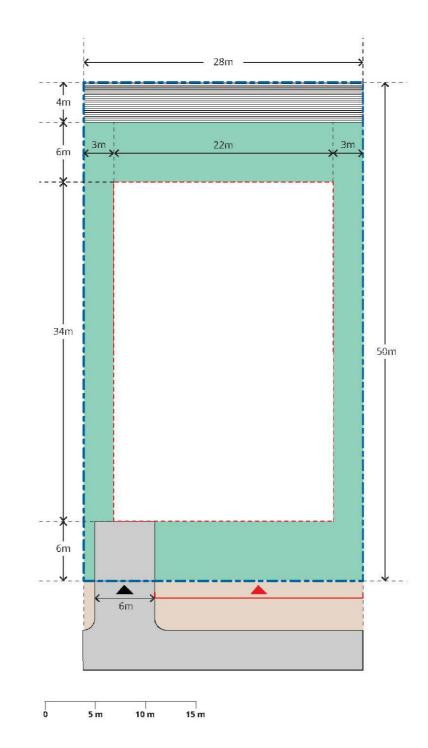
<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

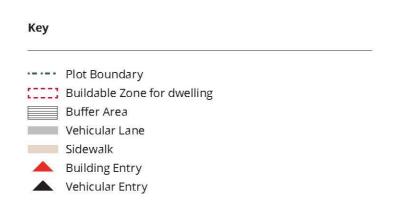
Other Mansions

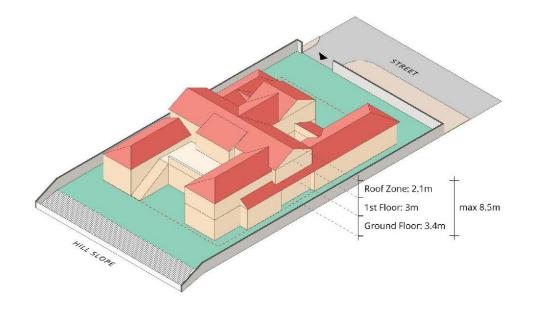
#### Premium High Hill Villa (Typical Plot)

- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- · Maximum Height: 8.5m
- · Setbacks are given as follows:
  - » Front Setback: 6m
  - » Side Setbacks: 3m
  - » Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties)
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area
- · Rear fences to abide by fence guideline.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details
- · Trash facilities shall comply with Estidama requirements







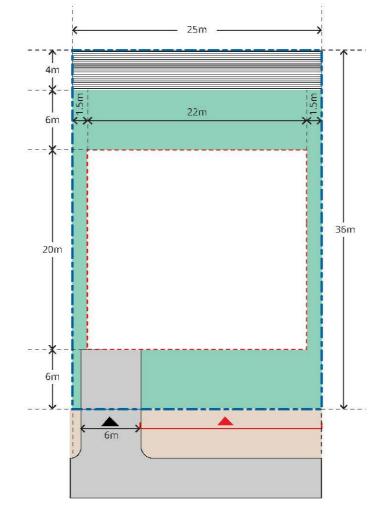


Premium High Plot	Typical*
Land Use	Residential-Villa
Plot Area	1400
Number of Floors	2
Max. Allowable GFA	1120
FAR	0.80
Bedrooms	5
Resident Parking Space (on-plot)	4

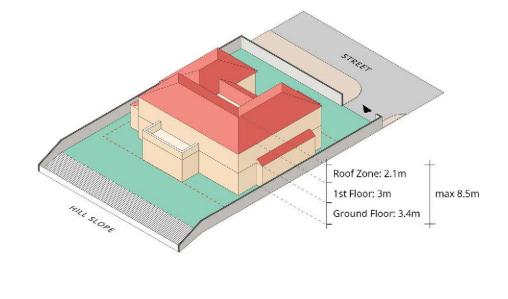
<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

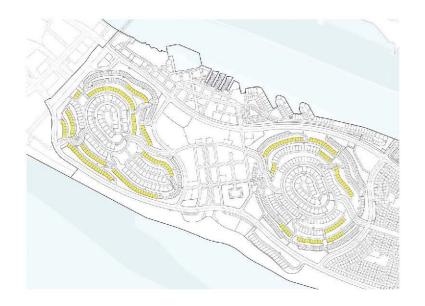
#### Premium Hill Villa (Typical Plot)

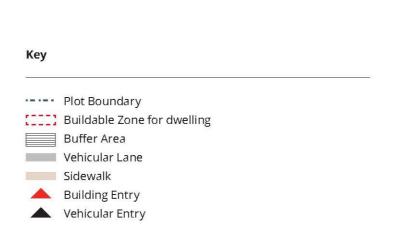
- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- · Maximum Height: 8.5m
- · Setbacks are given as follows:
  - » Front Setback: 6m
  - » Side Setbacks: 1.5m
  - » Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area.
- · Rear fences to abide by fence guideline.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details.
- · Trash facilities shall comply with Estidama requirements









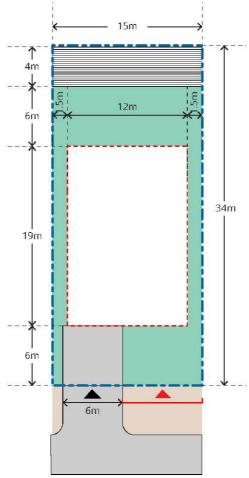


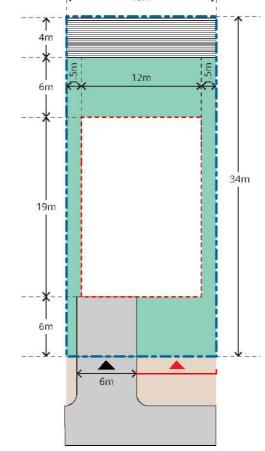
Premium Plot	Typical*	
Land Use	Residential-Villa	
Plot Area	900	
Number of Floors	2	
Max. Allowable GFA	720	
FAR	0.80	
Bedrooms	5	
Resident Parking Space (on-plot)	4	

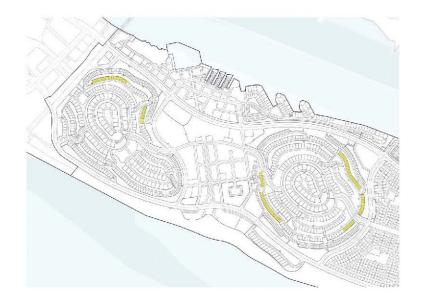
<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

#### Select Plus Hill Villa (Typical Plot)

- Refer to Hudayriyat Hill Typology Guidelines for design details and specifics.
- · Maximum Height: 8.5m
- · Setbacks are given as follows:
  - Front Setback: 6m
  - Side Setbacks: 1.5m
  - Rear Setback: 10m total (4m sloped buffer area + 6m level zone)
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- · Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area.
- · Rear fences to abide by fence guidelines.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction.
- · Location as indicated in keyplan below. Refer to Section D9.3 for specific plot numbers and details.
- · Trash facilities shall comply with Estidama requirements









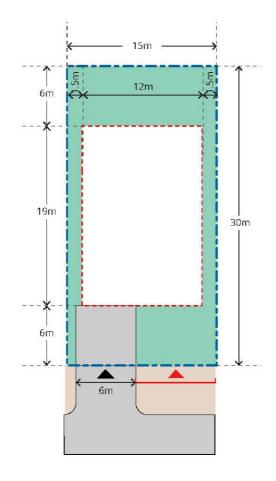
Ť	Roof Zone: 2.1m	STREET
max 8.5m	1st Floor; 3m	
	Ground Floor: 3.4m	
+	HILL STOP	

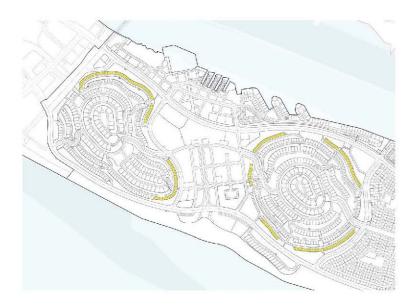
Select Plus Plot	Typical*	
Land Use	Residential-Villa	
Plot Area	510	
Number of Floors	2	
Max. Allowable GFA	357	
FAR	0.7	
Bedrooms	4	
Resident Parking Space (on-plot)	3	

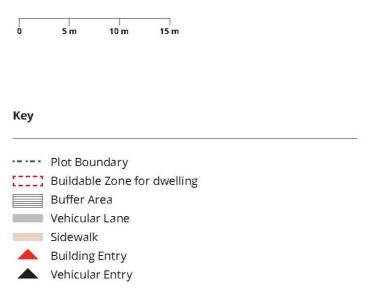
<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

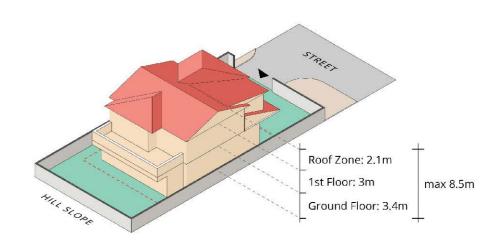
#### Select Hill Villa (Typical Plot)

- Refer to Hudayriyat Hill Typology Guidelines for design details and specific.
- · Maximum Height: 8.5m
- · Setbacks are given as follows:
  - » Front Setback: 6m
  - » Side Setbacks: 1.5m
  - » Rear Setback: 6m
- Grading/terracing/landscaping within 4m sloped buffer area is permitted, however requires approval from the Master Developer (Modon Properties).
- Swimming pools are allowed, but are not permitted to extend into the 4m sloped buffer area.
- · Rear fences to abide by fence guidelines.
- Basement Garages and below-grade residential gross floor are permitted and encouraged. Basement floor area (excluding garage area) shall be counted towards Maximum Allowable GFA.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements





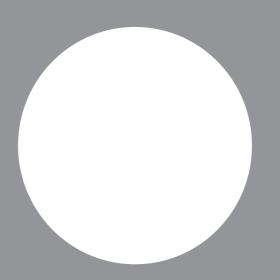




Select Plot	Typical*
Land Use	Residential-Villa
Plot Area	450
Number of Floors	2
Max. Allowable GFA	315
FAR	0.70
Bedrooms	4
Resident Parking Space (on-plot)	3

<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.





# Sahl Villa Community



### CONTENTS

Site Location & Key Statistics
Perspective Views
Plot Regulation Sheets

### Sahl Villa Community: Site Statistics

### **Hudayriyat Central**



Site Area - 850 ha



**Total GFA** - 3,227,000 m2



Population - 45,000



### Amenities

- -Public Beach
- -Public Parks
- -Sports Centre
- -Marina
- -Retail District
- -Community Facilities

### Sahl Neighbourhood



Site Area - 86 ha



**GFA** - 690,000 m<sup>2</sup>

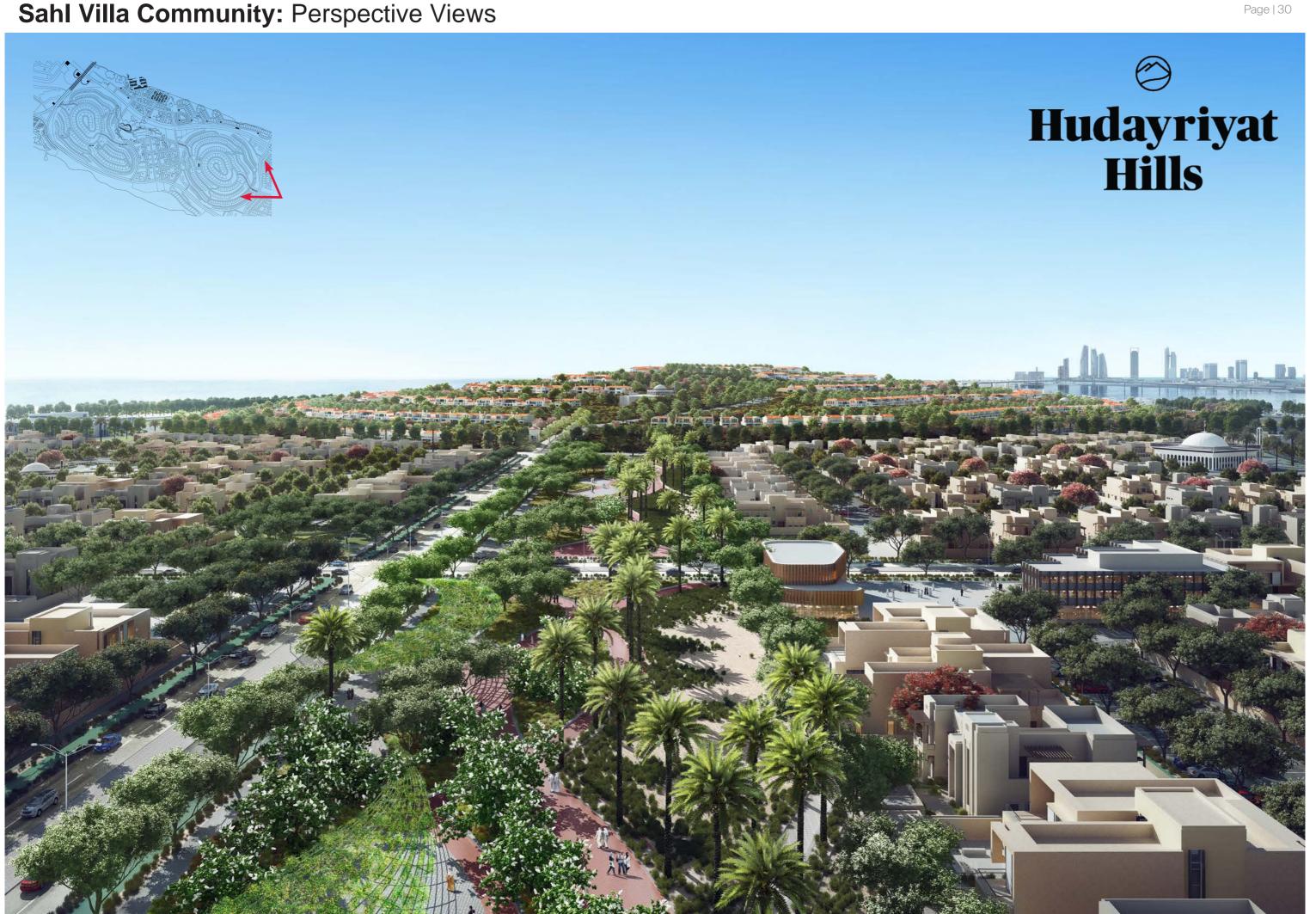


**Population** - 6,000



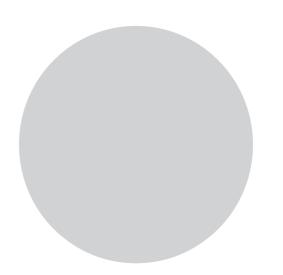
**656 Villas -** 930m2 Plot **331 Villas -** 750m2 Plot











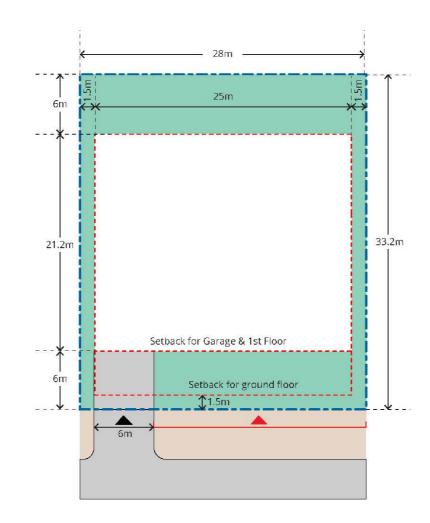
# Plot Regulation Sheets

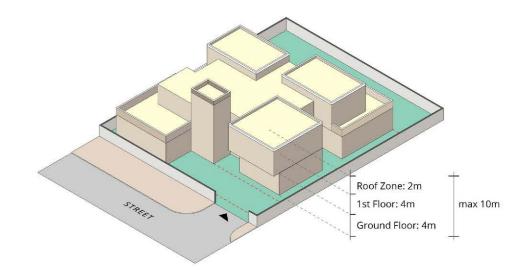


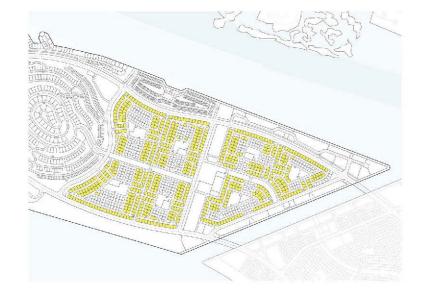
930 Sqm Plot 750 Sqm Plot

#### Sahl Villa (Large) - (Typical Plot)

- Refer to Sahl Villa Typology Guidelines for design details and specifics.
- Maximum Height: 10m
- · Setbacks are given as follows:
  - » Front Setback: 1.5m for ground floor; 6m for garage and 1st floor.
  - » Side Setbacks: 1.5m
  - » Rear Setback: 6m
- Garage shall be above-grade and abide by the 6m front setback restriction.
- · All fences to abide by fence guidelines.
- Basements are not permitted.
- Location as indicated in keyplan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements.









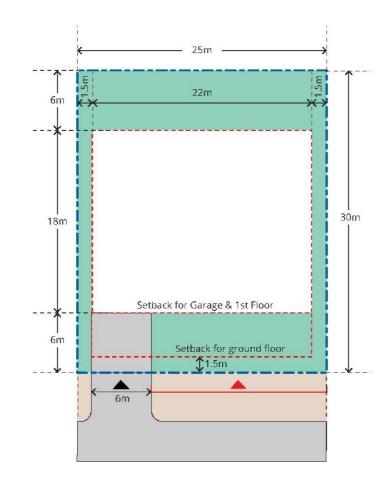
Sahl Villa (Largo) Blot	Typical*
Sahl-Villa (Large) Plot	Typical"
and Use	Residential-Villa
lot Area	929
Number of Floors	2
Max. Allowable GFA	743
AR	0.8
Bedrooms	6
Resident Parking Space (on-plot)	5

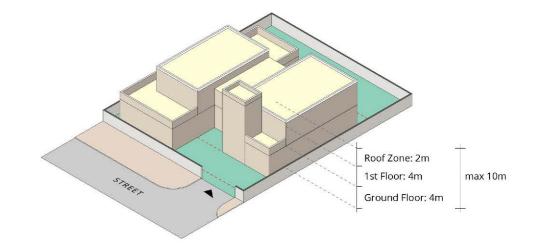
<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.

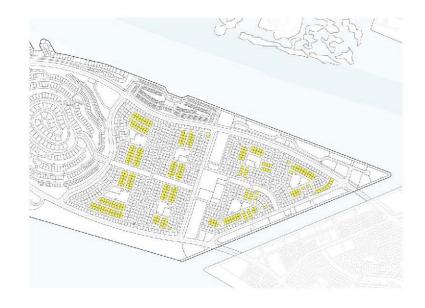
### Sahl Villa Community: Plot Regulation Sheets\_750m2 Plot

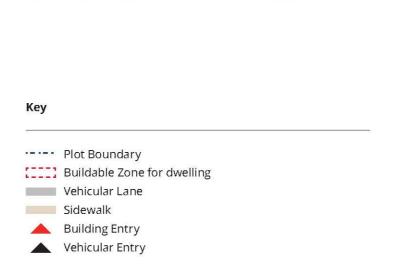
#### Sahl Villa (Small) - (Typical Plot)

- Refer to Sahl Villa Typology Guidelines for design details and specifics.
- Maximum Height: 10m
- · Setbacks are given as follows:
  - » Front Setback: 1.5m for ground floor; 6m for garage and 1st floor.
  - » Side Setbacks: 1.5m
  - » Rear Setback: 6m
- Garage shall be above-grade and abide by the 6m front setback restriction.
- · All fences to abide by fence guidelines.
- · Basements are not permitted.
- Location as indicated in keyplan below. Refer to Section D9.3 for specific plot numbers and details.
- Trash facilities shall comply with Estidama requirements.





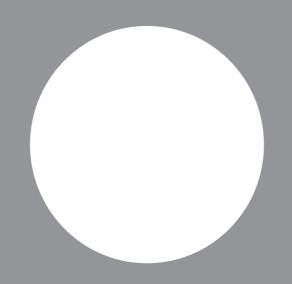




Typical
Residential-Villa
750
2
600
0.80
5
4

<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR





# Quays Villas



### CONTENTS

Site Location & Study
Perspective Views
Design Guidelines
Plot Regulation Sheets



Site Area 28.8 ha



Quays Villas 134

Mansion 12

2,000 sqm (50m x 40m)

Premium High 35

1,400 sqm (50m x 28m)

**Premium** 900 sqm (36m x 25m) **27** 

**Select** 450 sqm (30m x 15m) **60** 



**Amenities** 

Community Centre



Open Space 5.3 ha

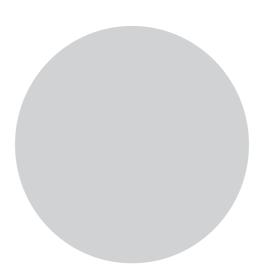








### MOCOM



# Design Guidelines







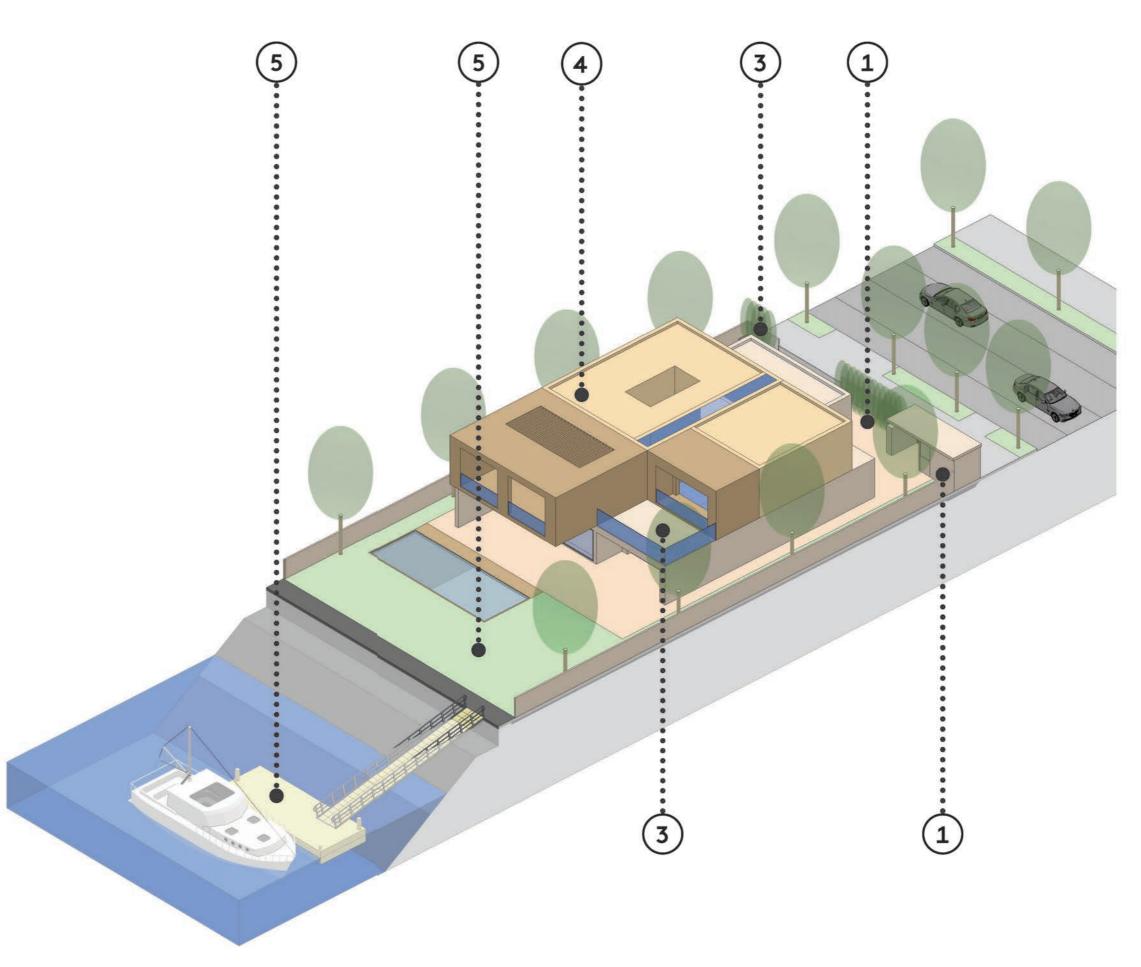


## Architectural Elements

The area comprises four separate enclaves with clusters of large luxury villas in groups of quiet, managed plots, most of which have access to water and views of the city. Other inland plots are adjacent to a local network of recreational, family friendly parks.

The villas in this quarter will adopt a contemporary industrial chic with clean rectilinear lines, cool colours and understated luxury, recalling a "neo-bauhaus" aesthetic.

- 1 Entrance & Boundary Treatments
- 2 Gardens & Courtyards
- Terraces & Balconies
- 4 Architectural Character Elements
- 5 Back Gardens & Moorings



#### Quays Villas: Design Guidelines











#### **Entrances & Boundary Treatments**

The villa's are set in a verdant, seamless landscape. Entrance drives and path ways are simple and understated and integrated within the landscape. Safe and secured environment allows for villas to have open front gardens, while boundary walls clearly demarcate plot boundaries, together with lush landscape delivering privacy for each home. Special measures are applied to conceal any surface parking with screening and mounds in the landscape, to present a calm, soft, luxuriant prospect.

#### **Gardens & Courtyards**

The front gardens of the villas are designed and constructed to each owners requirements, as part of the clusters' overall landscape framework using a palette of restrained materials and planting species. A high quality, low maintenance approach is taken with simple uplighting effects to create a sense of calm serenity by day and night.

The courtyards are an opportunity for the owner to apply an alternative style or character to the space at the core of the home as more of a personal statement, using art or features to create a special impression.











### Quays Villas: Design Guidelines

#### **Terraces & Balconies**

The villas provide the island's best domestic views, and the terraces and balcones are oriented to offer the best vantage point. This priovides the opportunity to modulate each villa's architectural form and to create an intersting and innovative relationship with the outdoors.











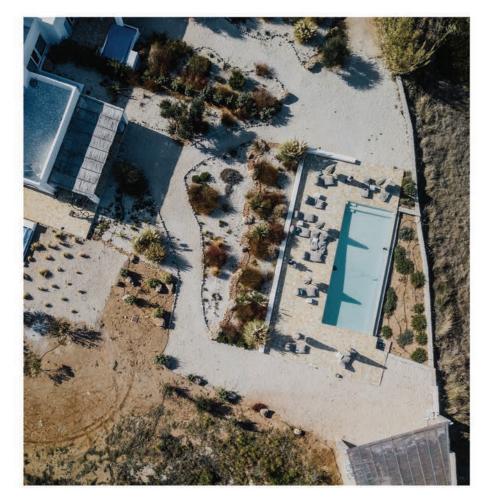




#### **Architectural Character Elements**

Contemporary villa forms will offer generous terraces, deep shadow casting overhangs and open feel. The villas will adopt a restrained and simple palette of materials and features to appear recessed in the parcel's landscape. Specific features for external shading, lighting and access will be common to emphasise the cohesive approach to each cluster.

### Quays Villas: Design Guidelines



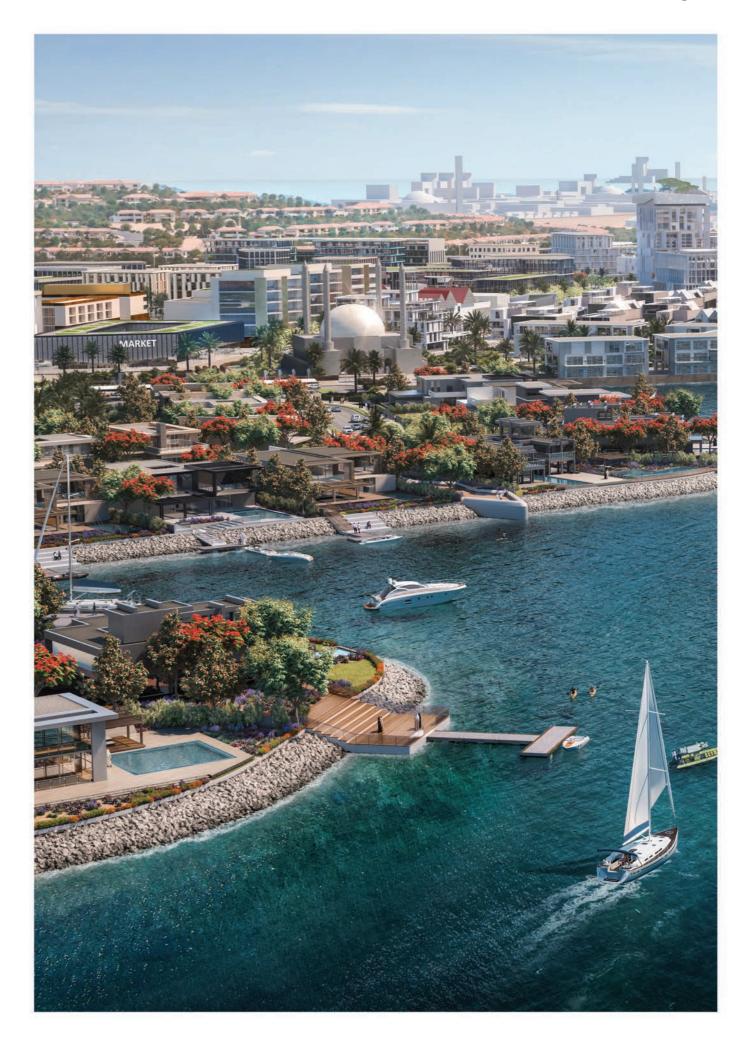




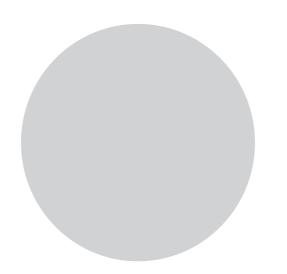


#### **Back Gardens and Moorings**

The rear of each parcel will feature unique landscape treatments to suit the requirements of the owner. This includes the optional provision of a mooring facility to allow small to medium sized private vessels access to the many navigable routes associated with the region. This is a special amenity that defines The Quays.



### MOCOM



# Plot Regulation Sheets

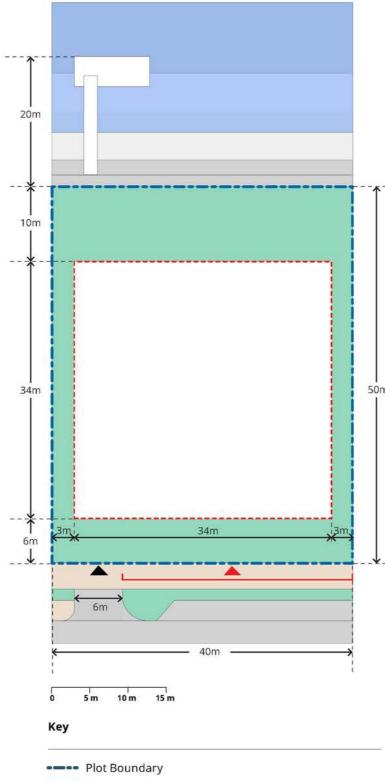
## **CONTENTS**

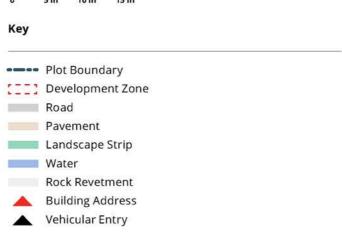
Mansion Plot
Premium High Plot
Premium Plot
Select Plot

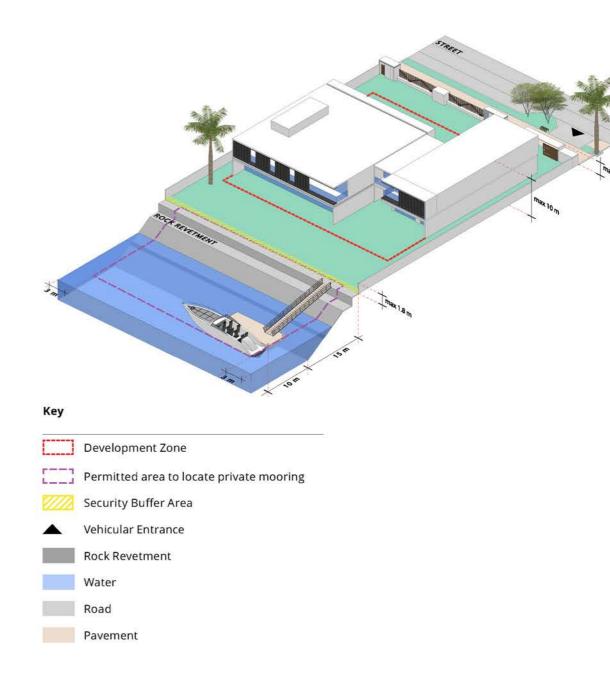
#### D9.2.7.9 The Quays - Villas Plot Level Regulations & Guidelines

#### Mansion Villa (Typical Plot)

- Front and rear elevations should have vertical breaks for variation and shade. Planes to be offset a minimum of 0.5m. Long unbroken walls are discouraged.
- 2 storey massing must be balanced with single level porch and ancillary extensions to ensure ground level occupies the most GFA. The second floor can not be an extrusion of the ground floor. It shall be set back min 1m from ground floor edge and occupy max 50% of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- · Upper floor roofs may incorporate varied eaves heights.
- Maximum roof plan width perpendicular to the ridge should not exceed 10m. Flat roof are encouraged.
- Porches are encouraged at first and second storeys to create shade and open up views between the plots.
- Where included, chimney flues to be between 1m to 2m above roof, unless otherwise required by local building code.





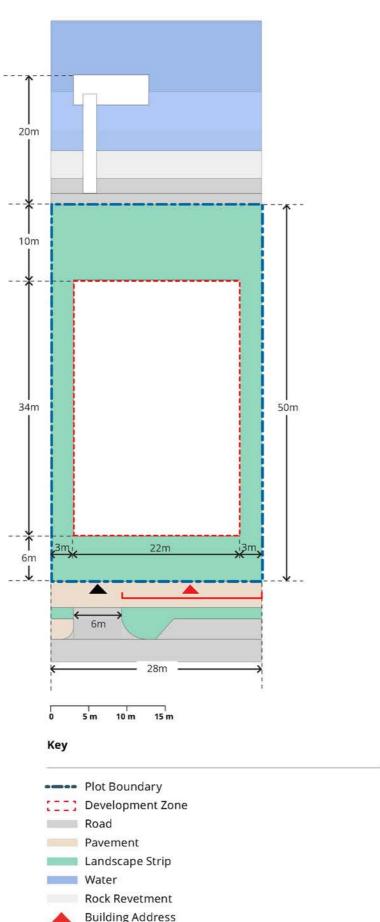


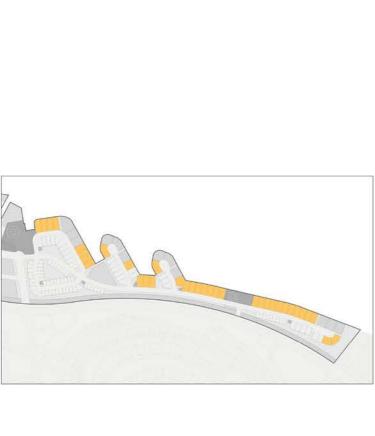
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Cimmin 2500		

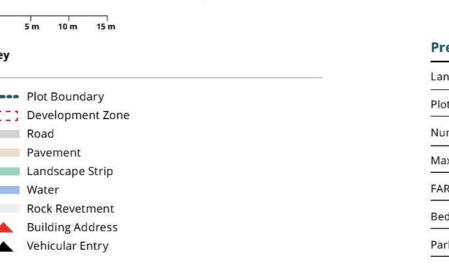
Mansion Plot	Typical		
Land Use	Residential-Villa		
Plot Area (sqm)	2,000		
Number of Floors	2		
Max. Allowable GFA (sqm)	1,500		
FAR	0.75		
Bedrooms	8		
Parking Space	7.2		

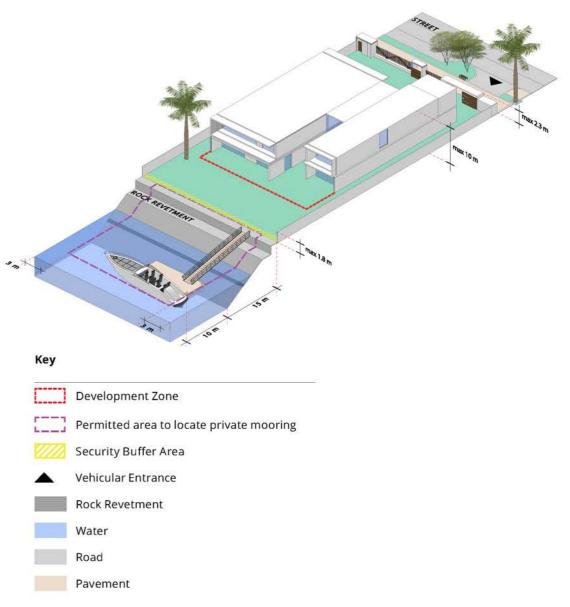
#### Premium High (Typical Plot)

- Front and rear elevations should have vertical plane breaks to create variation and shade. Planes to be offset min 0.5 m. Long uninterrupted walls at all elevations are discouraged.
- · 2 storey massing to be balanced with single porches and other extensions so the second floor does not dominate. Second floor must not be a full extrusion of the first and shall be set back by 1m from ground floor a minimum of 50 % of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- · The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- · Porches are encouraged at first and second storeys to create shadows and open up views between plots.
- Chimney flues to range in height from 1m to 2m, measured from roof top, unless otherwise required by local building code.





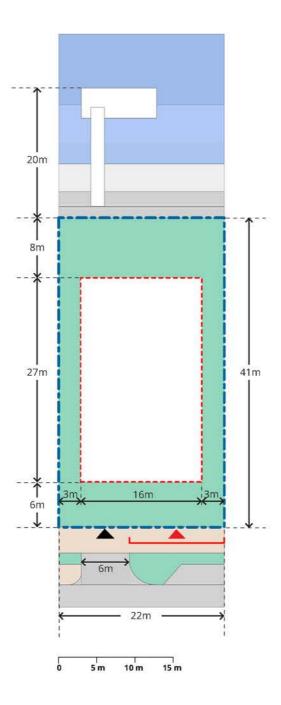


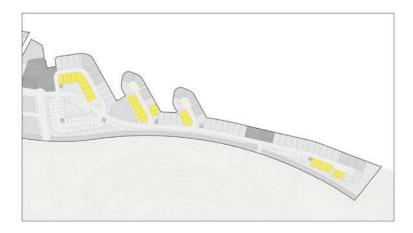


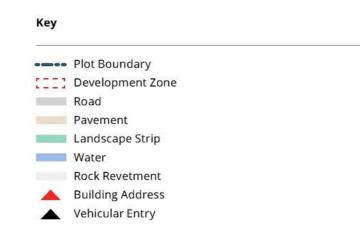
Typical		
Residential-Villa		
1,400		
2		
1,120		
0.80		
6		
5.4		

#### Premium (Typical Plot)

- Front and rear elevations should have vertical plane breaks to create variation and cast shade. Planes should be offset a minimum of 0.5 m. Long uninterrupted walls at all elevations are discouraged.
- 2 storey massing should be balanced with single story porches and extensions so that the second floor does not dominate the form. The second floor is not permitted to be a full extrusion of the first floor and must have a 1m minimum setback from ground floor a minimum of 50 % of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- Porches are encouraged at first and second storeys to create shade and open up views between plots.
- Chimneys should range in height from 1m to 2m, measured from roof line, unless otherwise required by local building code.





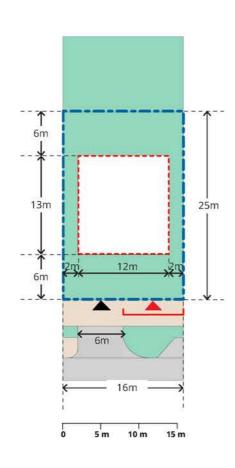


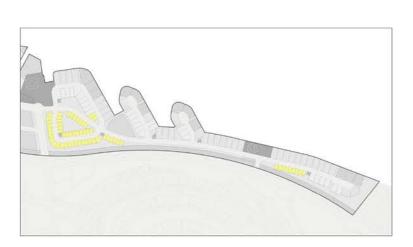


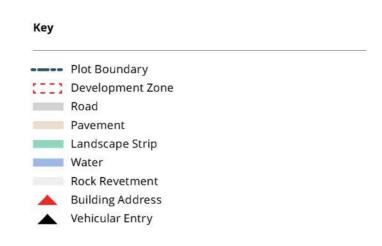
Premium Plot	Typical			
Land Use	Residential-Villa			
Plot Area (sqm)	900			
Number of Floors	2			
Max. Allowable GFA (sqm)	720			
FAR	0.80			
Bedrooms	5			
Parking Space	4.5			

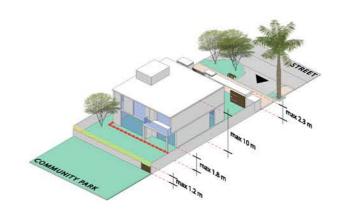
#### Select (Typical Plot)

- Front and rear elevations should have vertical plane breaks to create variation and cast shadows. Planes should be offset a minimum of 0.5 m. Long uninterrupted walls at all elevations are discouraged.
- 2 story massing should be balanced with single story porches and extensions so that the second floor does not dominate the form. The second floor is not permitted to be a full extrusion of the first floor and must have a 1m minimum setback from ground floor a minimum of 50 % of overall building length at front and rear elevations, and 25% minimum on at least one side elevation.
- The roofs should be flat to resonate a modern, contemporary style of the neighbourhood.
- Porches are encouraged at first and second stories to create shadows and open up views through lots.
- Chimneys should range in height from 1m to 2m, measured from roof ridge, unless otherwise required by local building code.





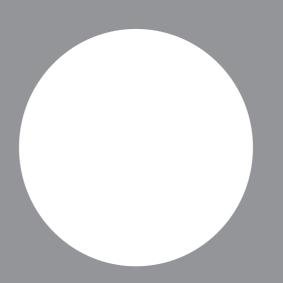




Key	
	Development Zone
	Permitted area to locate private mooring
1111	Security Buffer Area
<b>_</b>	Vehicular Entrance
	Rock Revetment
	Water
	Road
	Pavement

Select Plot	Typical
Land Use	Residential-Villa
Plot Area (sqm)	400
Number of Floors	2
Max. Allowable GFA (sqm)	280
FAR	0.70
Bedrooms	4
Parking Space	3.4





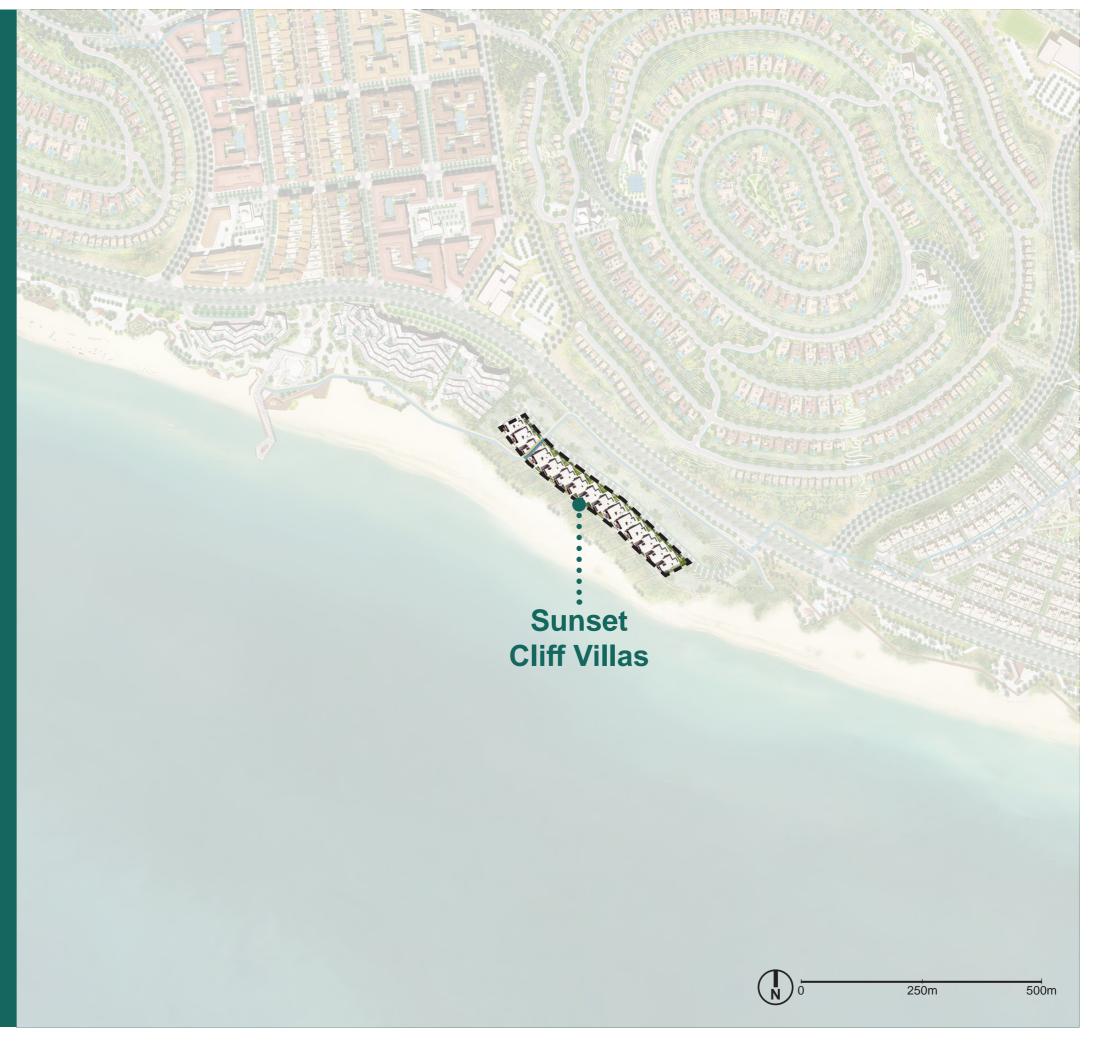
## Sunset Cliff Villas



## CONTENTS

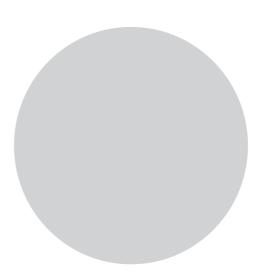
Site Location & Study
Perspective View
Design Guidelines
Plot Regulation Sheet







### MOCOM



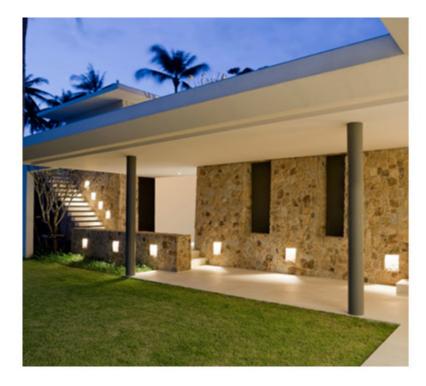
# Design Guidelines

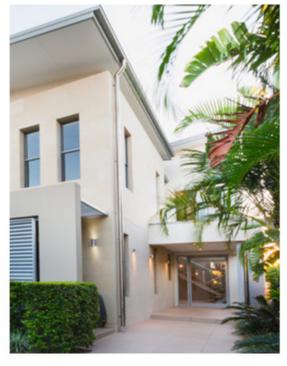




## Architectural Elements

**Elements** Relaxed resort aesthetic with warm colour accents. Strong horizontal emphasis with plenty of terraced areas to maximise views. Entry Door & Porches Windows Terrace Walls Roof and Mechanical Area **Fence** Front Yard **Back Yard** Side Yard









#### **Entry Door & Porches**

The entrance to the Sunset Cliff Villas is defined by the horizontal line of a porch, with warm timber accents at walls and ceilings. An oversized entry door made from glass or solid wood, recessed lighting and large format stone terracing create a modern aesthetic.

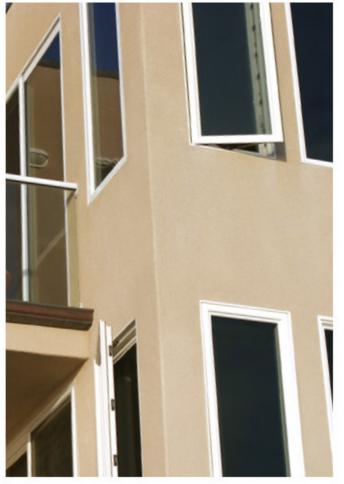
#### Windows

Windows have modern detailing set into unadorned openings of stucco or stone, with rich wood or black iron frames. Larger expanses of glass at the rear of the villa captures panoramic sunsetviews, while smaller openings are utilized at front and side facades to maximize privacy.















#### Тегтасе

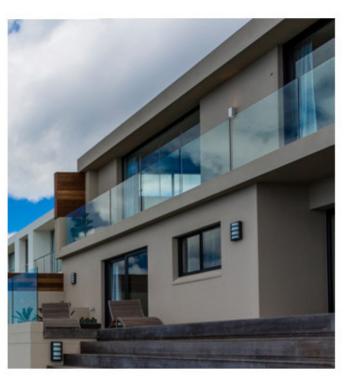
The multiple terraces of the Sunset Cliff Villas create a horizontal emphasis that complements the seaside terrain, while optimizing views of Hudayriyat Island. Glass railings preserve the views and enhance the clean coastal aesthetic. Deep roof overhangs and timber trellises are used for shading.

#### **Walls**

Walls are finished with crisp stucco or stone in white and neutral tones, accented with natural timber elements.,



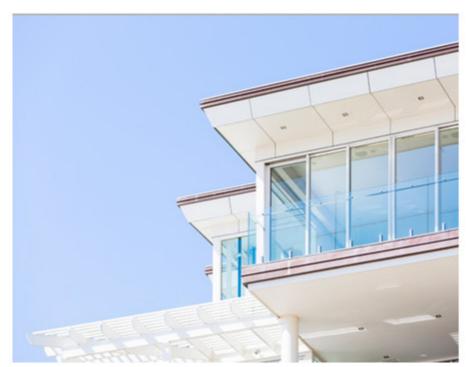














#### **Roof and Mechanical Area**

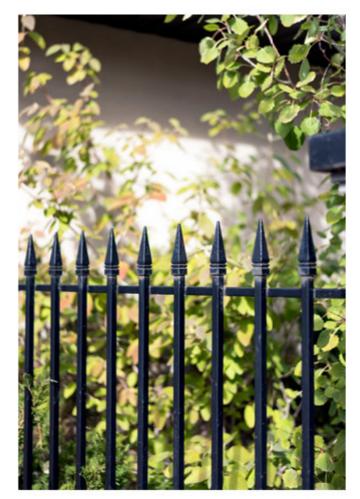
The flatroofs of the Sunset Cliff Villas are ideal for harnessing energy using photovoltaic panels.

To enhance the outdoor environment, mechanical areas for outdoor equipment should be masked behind roof parapets.

#### **Fence**

Modern black iron fencing is integrated with planting to define the private realm of the frontyard.















#### **Front Yard**

The front yards of the Sunset Cliff villa plots give an overall identity to their neighbourhoods. Cladding, paving, and planting are unified to create a cohesive aesthetic to the community.

#### **Paving**

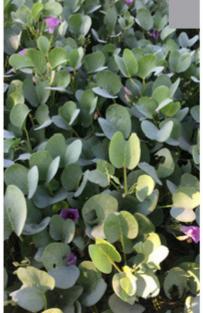
The paving use light-colored materials in natural stone. Less expensive, engineered stones could be used as an alternative as long as they provide consistent earth tone.













#### **Planting**

The planting of the front yards predominantly features salt-tolerant, drought-resistant species that will appear vibrant, even if not irrigated.





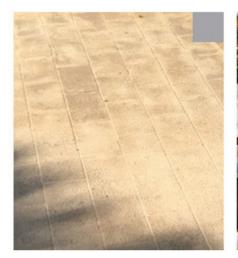


#### **Back Yard**

The back yards of the villa plots allow a resident to be creative and express their individuality within their neighborhoods. Several cladding, paving, and planting options can be combined in numerous ways to produce different seating areas, gardens, and pool side retreats.

#### **Paving**

The paving use light-colored materials in natural stone. Less expensive, engineered stones could be used as an alternative as long as they provide consistent earth tone.

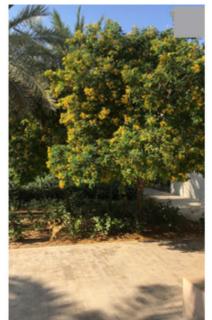










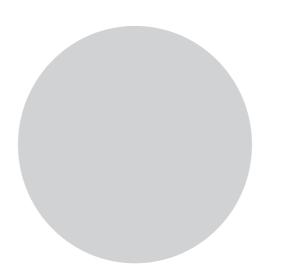




#### **Planting**

The planting of the back yards features salt-tolerant, drought-resistant species that will appear vibrant, even if not irrigated. Specimen species can be introduced and irrigated within the back yards as they require more maintenance. Tree species are still regulated as these become the 'face' of the hillsides and the overall identity of these neighborhoods.





# Plot Regulation Sheet

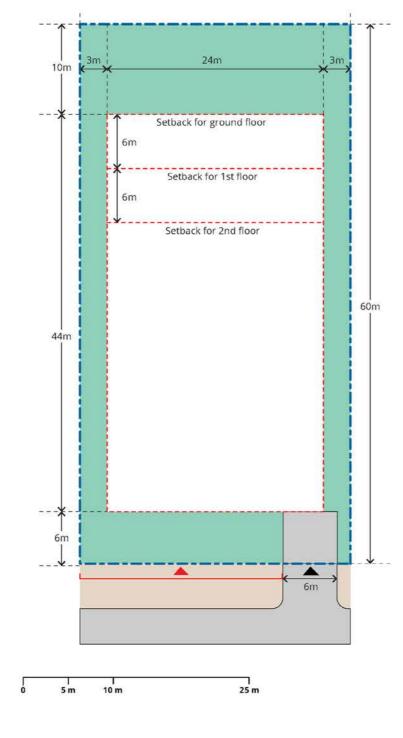


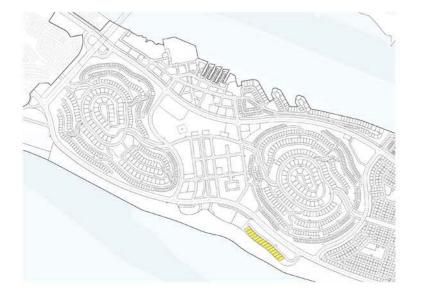
CONTENTS

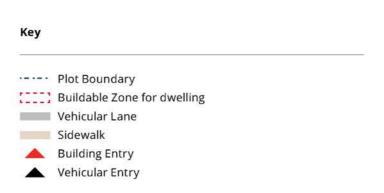
Mansion Plot

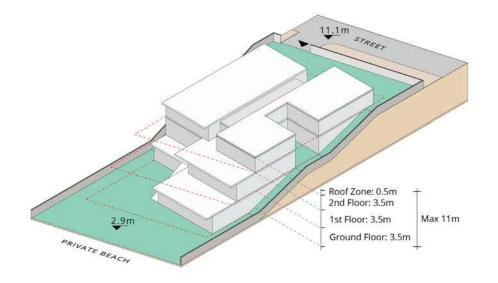
#### Cliffside Villa (Typical Plot)

- Refer to Cliffside Villa Typology Guidelines for design details and specific.
- · Maximum Height: 11m
- · Setbacks are given as follows:
  - » Front Setback: 6m
  - » Side Setbacks: 3m
  - » Rear Setback: 10m for ground floor, 16m for 1st floor and 22m for 2nd floor
- · Swimming pools are allowed.
- · All fences to abide by fence guidelines.
- Above-Grade Garages must abide by the 6m front setback restriction.
- Location as indicated in key plan below. Refer to Section D9.3 for specific plot numbers and details.
- · Trash facilities shall comply with Estidama requirements.









Cliffside Villa	Typical*			
Land Use	Residential-Villa			
Plot Area	1800			
Number of Floors	3			
Max. Allowable GFA	1500			
FAR	0.83			
Bedrooms	6			
Resident Parking Space (on-plot)	5			

<sup>\*</sup> numbers shown are for a typical "nominal" plot. Plot area will vary, as will Max. Allowable GFA, which is a function of FAR.



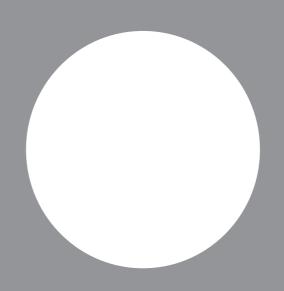


## Area Schedule



Hudayriyat Residential SoA														
Community				ys Villas						Hudayriyat Hills				Hudayriyat Coast
Neighbourhood			Quay	ys Villas		L	Sa	hl			East & West Hill			Cliff Villas
Architectural Character		1. Contemporary				1.	. Southern Californi	an Modern	1. Southern California 2. Aegean	an				<ol> <li>Southern Californian Modern</li> </ol>
									3. Contemporary					2. Contemporary
Unit Tuno			V	ʻillas		-			j si comomporary	Villas				Villa
Unit Type Bedrooms		4 Bedroom		drooom	6 Bedroom	_	5 Bed	room	4 Bedroom		drooom	6 Bedroom	7 Bedroom	6 Bedroom
Unit Reference		Select	Premium	Premium High	Mansion	⊢	Option A	Option B	Select	Premium	Premium High	Mansion	Mansion Plus	Mansion
Plot Width (Minimum)		16	25	28	40		25	28	15	25	28	40	40	40
Plot Depth (Minimum)		25	36	50	50		30	33.2	30	36	50	50	75	50
Plot Area (Minimum)		400	900	1400	2000	<u> </u>	750	929.6	450	900	1400	2000	3000	2000
Total GFA brief Total GFA SoA		280 282	720 720	1120 1080	1500 1460	<b> </b>	600 600	743.68 <b>721</b>	315 316	720 <b>720</b>	1120 1104	1500 1460	2250 <b>2012</b>	1500 1456
FAR		0.7	0.8	0.8	0.75	⊢	0.8	0.8	0.7	0.8	0.8	0.75	0.75	0.75
Massing (Maximum)		G+1	G+1	G+1	G+1		G+1	G+1	G+1	G+1	G+1	G+1	G+1	G+2
	<u> </u>	*Not	te: Plot dimensions va	ry significantly across a	all plots									
Primary entrance		6	20	30	36		16	20	6	20	30	36	48	36
Second entrance			12	16	16		12	12		12	16	16	24	16
FOH Kitchen		10	16	20	24	-	12	16	12	16	20	24 24	42	24
BOH Kitchen Dining Room		6 14	16 30	20 42	24 42		16 24	16 30	8 16	16 30	20 42	42	36 60	42
Living Room(s)		20	40	60	60	│	36	40	24	40	60	60	80	120
Family Powder Room(s)		6	8	12	24		8	8	6	8	12	24	30	24
Majlis/Formal Living Room	8		40	60	90	8	36	40		40	60	90	120	90
Majlis Powder Room	6		8	8	16	je	8	8		8	8	16	24	2 10
Majlis Pantry Media Room	e		12	12 36	16 42	j=	12	12		12	12 36	16 42	24 48	16 42
Study		12	16	20	24			16	12	16	20	24	42	24
Ground floor bedroom			20	30	36		20	20		20	30	36	42	36
En suite/shower room			8	12	12		8	8		8	12	12	16	12
Maid's room & bathroom		10	12	20	24		12	12	12	12	20	24	36	24
Laundry		4	8 12	12 16	18 16	-	8 12	8 12	6	8 12	12 16	18 16	24 24	18 16
Driver's room & bathroom Garage (enclosed)		30	60	90	120	I ⊩	45	45	30	60	90	120	160	120
,	-			,				-				-	,	
Total		118	338	516	640		285	323	132	338	516	640	000	700
					0.0				132	330	310	040	880	700
Family Room	1 П		36	42	48		16	20	132	36	42	48	60	48
Gym			36	42	48 24	П	16		132		42 12	48 24	60 60	48
Gym Playroom					48 24 16	F	_	20	132	36	42 12 12	48 24 16	60 60 42	48 24 16
Gym Playroom Pantry		22	6	12	48 24 16 16		6	20		36	42 12 12 12	48 24 16 16	60 60 42 24	48 24 16 16
Gym Playroom		22 18			48 24 16		_	20	24 20	36	42 12 12	48 24 16	60 60 42	48 24 16
Gym Playroom Pantry Master Bedroom			6 36 30 24	12 44 36 30	48 24 16 16 54 42 36		6 30 24 20	6 36 30 24	24 20 20	36 6 36	42 12 12 12 14 44	48 24 16 16 54 42 36	60 60 42 24 80	48 24 16 16 54 42 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4		18	6 36 30 24 24	12 44 36 30 30	48 24 16 16 54 42 36 36		6 30 24 20 20	20 6 36 30 24 24	24 20	36 6 36 30 24 24	42 12 12 12 12 44 36 30 30	48 24 16 16 54 42 36 36	60 60 42 24 80 54 42	48 24 16 16 54 42 36 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5		18 18	6 36 30 24	12 44 36 30 30 30	48 24 16 16 54 42 36 36 36		6 30 24 20	20 6 36 30 24 24 24	24 20 20	36 6 36 30 24	42 12 12 12 14 36 30 30 30	48 24 16 16 54 42 36 36 36	60 60 42 24 80 54 42 42	48 24 16 16 54 42 36 36 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Bedroom 6		18 18	6 36 30 24 24	12 44 36 30 30	48 24 16 16 54 42 36 36 36 36		6 30 24 20 20	20 6 36 30 24 24	24 20 20	36 6 36 30 24 24	42 12 12 12 12 44 36 30 30	48 24 16 16 54 42 36 36	60 60 42 24 80 54 42 42 42	48 24 16 16 54 42 36 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5		18 18	6 36 30 24 24	12 44 36 30 30 30	48 24 16 16 54 42 36 36 36		6 30 24 20 20	20 6 36 30 24 24 24	24 20 20	36 6 36 30 24 24	42 12 12 12 14 36 30 30 30	48 24 16 16 54 42 36 36 36 36	60 60 42 24 80 54 42 42	48 24 16 16 54 42 36 36 36 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Bedroom 6 Bedroom 7 Bedroom 8 Master Bathroom En Suite	k 02	18 18 18 18	6 36 30 24 24 24 24	12 44 36 30 30 30 30 30	48 24 16 16 54 42 36 36 36 36 36	k 02	6 30 24 20 20 20 20	20 6 36 30 24 24 24 24	24 20 20 20 20	36 6 36 30 24 24 24 24	42 12 12 12 44 36 30 30 30 30 30	48 24 16 16 54 42 36 36 36 36 36	60 60 42 24 80 54 42 42 42 42 42 36 36 24	48 24 16 16 54 42 36 36 36 36 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Bedroom 6 Bedroom 7 Bedroom 8 Master Bathroom En Suite Bath 2	∞	18 18 18	6 36 30 24 24 24 24	12 44 36 30 30 30 30 30 18	48 24 16 16 54 42 36 36 36 36 36 36	∞	6 30 24 20 20 20 20	20 6 36 30 24 24 24 24 24	24 20 20 20 20 20	36 36 30 24 24 24 24 24	42 12 12 12 44 36 30 30 30 30 30 18	48 24 16 16 54 42 36 36 36 36 36 24	60 60 42 24 80 54 42 42 42 42 42 42 36 36 24	48 24 16 16 54 42 36 36 36 36 36 36
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Bedroom 6 Bedroom 7 Bedroom 8 Master Bathroom En Suite Bath 2 Bath 3		18 18 18 18	6 36 30 24 24 24 24 12 8	12 44 36 30 30 30 30 30 18 12 8	48 24 16 16 54 42 36 36 36 36 36 24		6 30 24 20 20 20 20	20 6 36 30 24 24 24 24 24 24 28 8	24 20 20 20 20 20	36 36 30 24 24 24 24 24 8 8	42 12 12 12 44 36 30 30 30 30 30 18 18	48 24 16 16 54 42 36 36 36 36 36 24	60 60 42 24 80 54 42 42 42 42 42 36 36 24	48 24 16 16 54 42 36 36 36 36 36 36 16 16 12
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 4 Bedroom 5 Bedroom 6 Bedroom 7 Bedroom 8 Master Bathroom En Suite Bath 2 Bath 3 Bath 4	01 &	18 18 18 18	6 36 30 24 24 24 24 12 8 8	12 44 36 30 30 30 30 30 18 12 8	48 24 16 16 54 42 36 36 36 36 36 16 11 11 12 12	018	6 30 24 20 20 20 20	20 6 36 30 24 24 24 24 24 24 8 8	24 20 20 20 20 20	36 36 30 24 24 24 24 24 8 8	42 12 12 14 44 36 30 30 30 30 30 18 12 8	48 24 16 16 54 42 36 36 36 36 36 42 16 12 12	60 60 42 24 80 54 42 42 42 42 42 42 16 16	48 24 16 16 54 42 36 36 36 36 36 36 16 12 12
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Bedroom 6 Bedroom 7 Bedroom 8 Master Bathroom En Suite Bath 2 Bath 3	01 &	18 18 18 18	6 36 30 24 24 24 24 12 8	12 44 36 30 30 30 30 30 18 12 8	48 24 16 16 54 42 36 36 36 36 36 24	018	6 30 24 20 20 20 20	20 6 36 30 24 24 24 24 24 24 28 8	24 20 20 20 20 20	36 36 30 24 24 24 24 24 8 8	42 12 12 12 44 36 30 30 30 30 30 18 12 8	48 24 16 16 54 42 36 36 36 36 36 24	60 60 42 24 80 54 42 42 42 42 42 36 36 24	48 24 16 16 54 42 36 36 36 36 36 36 16 16 12
Gym Playroom Pantry Master Bedroom Bedroom 2 Bedroom 3 Bedroom 4 Bedroom 5 Bedroom 6 Bedroom 7 Bedroom 8 Master Bathroom En Suite Bath 2 Bath 3 Bath 4 Bath 5 Bath 6 Bath 7	01 &	18 18 18 18	6 36 30 24 24 24 24 12 8 8	12 44 36 30 30 30 30 30 18 12 8	48 24 16 16 54 42 36 36 36 36 36 16 11 12 12 12	018	6 30 24 20 20 20 20	20 6 36 30 24 24 24 24 24 28 8 8 8	24 20 20 20 20 20	36 36 30 24 24 24 24 24 8 8	42 12 12 12 44 36 30 30 30 30 30 18 12 8 8	48 24 16 16 54 42 36 36 36 36 36 11 12 12 12	60 60 42 24 80 54 42 42 42 42 36 36 24 16 12	48 24 16 16 54 42 36 36 36 36 36 36 16 12 12 12
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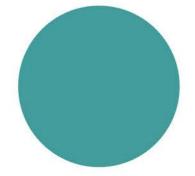
# Branding







**Hudayriyat Hills** 



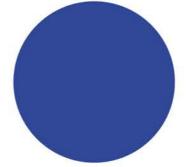


Sahl Villa Community



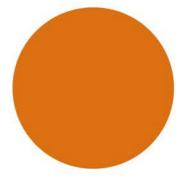


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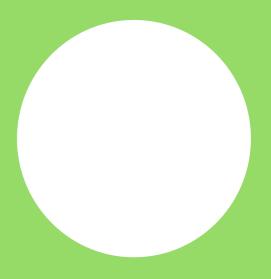




Sunset Cliff Villas







## Thank You

